GENERAL NOTES

- 1. THE BUILDING CODE OF AUSTRALIA (B.C.A.) & RELEVANT AMENDMENTS AND UPDATES, INCLUDING THE STANDARDS ASSOCIATION OF AUST. (AS.) CODES SHALL BE THE MINIMUM STANDARDS FOR COMPLIANCE.
- 2. CHECK ALL DIMENSIONS OF SITE AND BUILDING(S) SETOUT PLANS AND CHECK AGAINST SURVEYORS SITE SETOUT. CLARIFY ANY DISCREPANCY TO NOTED DIMENSIONS OR OFFSETS PRIOR TO CONSTRUCTION OF ANY WORK. ENSURE SURVEYORS WORK RELATES TO CURRENT SITE FIELD WORK AND NOT THE COMPILED VIDE TITLE.
- 3. NOTED DIMENSIONS SHALL TAKE PRECEDENCE TO SCALED DIMENSIONS.
- 4. CHECK HYDRAULIC AND MECHANICAL PLANS FOR SETOUT AND SIZING OF SERVICE DUCT(S) WHERE & IF APPLICABLE.
- 5. CO-ORDINATE ALL CONSULTANTS DOCUMENTS AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE RELEVANT CONSULTANT(S) PRIOR TO THE CONSTRUCTION OF THAT PART OF THE WORKS.
- 6. CHECK ON SITE OPENINGS BEFORE FABRICATION OF DOORS, WINDOWS & ANY OTHER FIXTURES. GIVEN SIZES ARE FOR QUOTATION PURPOSES ONLY AND MUST BE CONFIRMED ON SITE.
- 7. CHECK THE CONSTRUCTION PLAN IS THE MOST RECENT AMENDMENT.
 IF IN DOUBT CONFIRM WITH THE RELEVANT CONSULTANT.
- 8. REFER SPECIFIC CONDITIONS OF BUILDING APPROVAL FOR ANY ADDITIONAL REQUIREMENTS.
- 9. ENSURE DOORS TO SANITARY COMPARTMENTS COMPLY WITH THE BUILDING CODE OF AUSTRALIA F2.5 AND HAVE EITHER:

 (a) LIFT OFF HINGES FOR INWARD SWINGING DOORS or

 (b) OUTWARD SWINGING DOORS.
- 10. ALL AREAS UNDER BUILDING WORK TO BE PROTECTED FROM TERMITE ATTACK IN ACCORDANCE WITH AN APPROVED METHOD UNDER AS 3660.1
- 11. TIMBER FRAMING SHALL BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA (B.C.A.), PLUS ALL AMENDMENTS, AND THE 'LIGHT TIMBER FRAMING CODE' AS 1684, PART 2 FOR NON-CYCLONIC AREAS AND AS 1684 PART 1 FOR CYCLONIC AREAS.

AUSTRALIAN STANDARDS

ALL WORKMANSHIP AND MATERIALS SHALL COMPLY WITH RELEVANT CURRENT AUSTRALIAN STANDARDS AND THE CURRENT BUILDING ACT.

SMOKE ALARMS TO COMPLY WITH B.C.A. CLASS 1&10 PART 3.7.2 AND WITH A.S. 3786.

ALUMINIUM FRAMED, GLAZED JOINERY SHALL BE INSTALLED IN ACCORDANCE WITH A.S.1288 "INSTALLATION OF GLASS IN BUILDINGS"

WET AREAS SHALL BE WATERPROOFED IN ACCORDANCE WITH AS.3740 "WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS"

AREAS OF BUILDING TO BE TERMITE PROTECTED SHALL BE DONE SO IN ACCORDANCE WITH AS .3660.1 "PROTECTION OF BUILDING FROM SUBTERRANEAN TERMITES" PART 1:NEW BUILDINGS.



PHONE: 07 5573 6351 FAX: 07 5573 6437 LvI 1 Bld D HARBOUR VILLAGE Pde COOMERA WATERS, QLD, 4209

DRAWING SC	HEDULE
SHEET NO.	SHEET NAME
	COVER PAGE
1	SITE PLAN
2	FLOOR PLAN
3	ELEVATIONS
4	ELEVATIONS
5	ELECTRICAL PLAN & FLOOR COVERING PLAN
6	SECTION
7	TD & B SHEET 1
8	TD & B SHEET 2
9	TD & B SHEET 3
10	BRACING PLAN
11	SLAB PLAN



REQUIREMENTS FOR SUSTAINABLE BUILDINGS

FOR NEW CLASS 1 BUILDING AND SOLE-OCCUPANCY UNIT OF A NEW CLASS 2 BUILDING, AND RENOVATED BATHROOMS IN AN EXISTING CLASS 1 AND A SOLE-OCCUPANCY UNIT OF AN EXISTING CLASS 2 FOR BUILDING.

ACCEPTABLE SOLUTIONS:

SHOWER ROSES: (TO RETICULATED MAINS WATER SUPPLY AREAS ONLY)
THIS APPLIES TO NEW CLASS 1 BUILDINGS AND SOLE-OCCUPANCY UNITS OF NEW CLASS 2
BUILDINGS, OR WHERE THE BATHROOM OF THESE BUILDING RENOVATIONS. SHOWER ROSES TO
BE 3 STAR RATING UNDER WATER EFFICIENCY LABELLING SCHEME (WELS) OR A AAA RATING
WHEN ASSESSED AGAINST AS/NZ 6400:2005 WATER EFFICIENT PRODUCTS- RATING AND
LABELLING.

WATER PRESSURE LIMIT: (TO RETICULATED MAINS WATER SUPPLY AREAS ONLY)
THE MAXIMUM PRESSURE LEVEL OF WATER FROM ANY OUTLET WITHIN THE PROPERTY
BOUNDARIES OF A NEW CLASS 1 BUILDING MUST NOT EXCEED 500KPA. COMPLIANCE CAN BE
ACHIEVED THROUGH THE INSTALLATION OF A WATER PRESSURE LIMITING DEVICE IN LINE WITH
THE WATER METER. WHERE IT IS KNOWN THAT THE PRESSURE LEVEL OF THE WATER SUPPLY
DOES NOT EXCEED 500KPA, WATER PRESSURE LIMITING DEVICE IS NOT REQUIRED.

DUAL FLUSH TOILE

THIS APPLIES TO NEW CLASS 1 BUILDINGS AND SOLE-OCCUPANCY UNITS OF NEW CLASS 2 BUILDINGS OR WHERE TOILETS ARE REPLACED IN THE BATHROOMS OF THESE BUILDING CLASSIFICATIONS UNDERGO RENOVATIONS. A TOILET MUST HAVE A DUAL FLUSH CAPACITY THAT DOES NOT EXCEED 6 LITRES ON FULL FLUSH AND 3 ON HALF FLUSH.

ENERGY EFFICIENT LIGHTING:

THIS APPLIES TO NEW CLASS 1 BUILDINGS AND SOLE-OCCUPANCY UNITS IN CLASS 2 BUILDINGS. ENERGY EFFICIENT LIGHTING INCLUDES FLUORESCENT AND COMPACT FLUORESCENT LIGHTS. IT DOES NOT INCLUDE INCANDESCENT OR HALOGEN LIGHTS. COMPLIANCE IS ACHIEVED WHEN ENERGY EFFICIENT LIGHTS ARE USED FOR ABOUT 80% OF THE TOTAL FLOOR AREA OF THE BUILDING OR SOLE-OCCUPANCY UNIT. (FLOOR AREA MEANS THE AREA OF A ROOM MEASURED WITHIN THE FINISHED SURFACES OF THE WALLS, AND INCLUDES THE AREA OCCUPIED BY ANY CUPBOARD OR OTHER BUILT IN FURNITURE, FIXTURE OR FITTING) THIS AREA INCLUDES ASSOCIATED GARAGES.

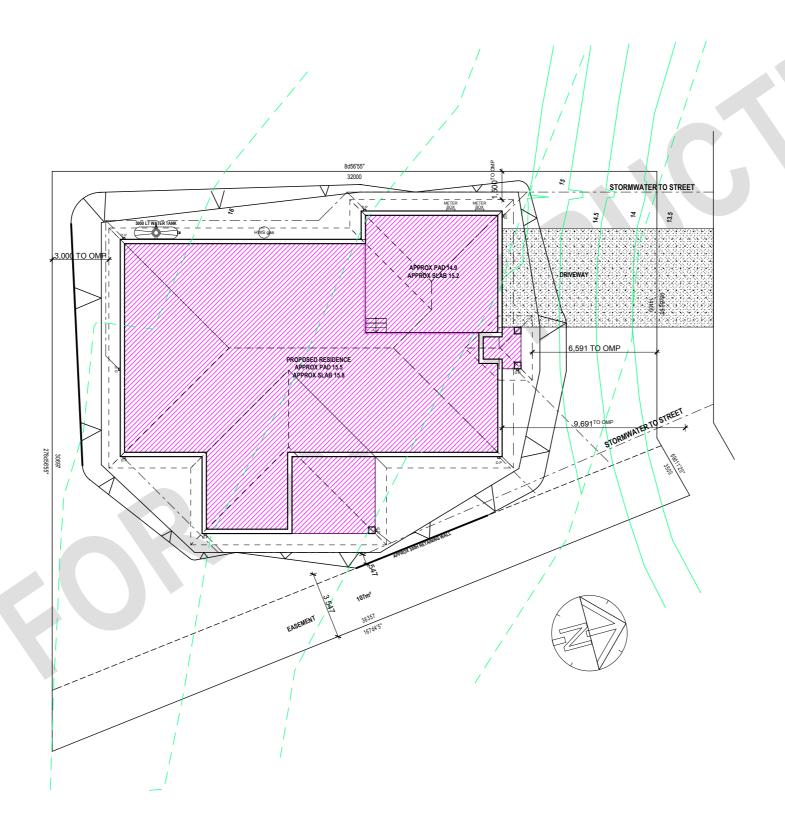
WHERE PART OF A HOUSE IS LIT BY MORE THEN ONE LIGHT SOURCE, AND ONE MORE OF THOSE LIGHT SOURCES IS NOT DEEMED TO BE EFFICIENT LIGHTING, THEN THAT PART OF THE HOUSE IS NOT CONSIDERED TO HAVE EFFICIENT LIGHTING, AND THEN THEREFORE DOES NOT QUALIFY TOWARDS THE 80% EFFICIENT LIGHT REQUIREMENT.

HOT WATER SUPPLY: IN A NEW CLASS 1

A SUITABLE HOT WATER SYSTEM INCLUDES:

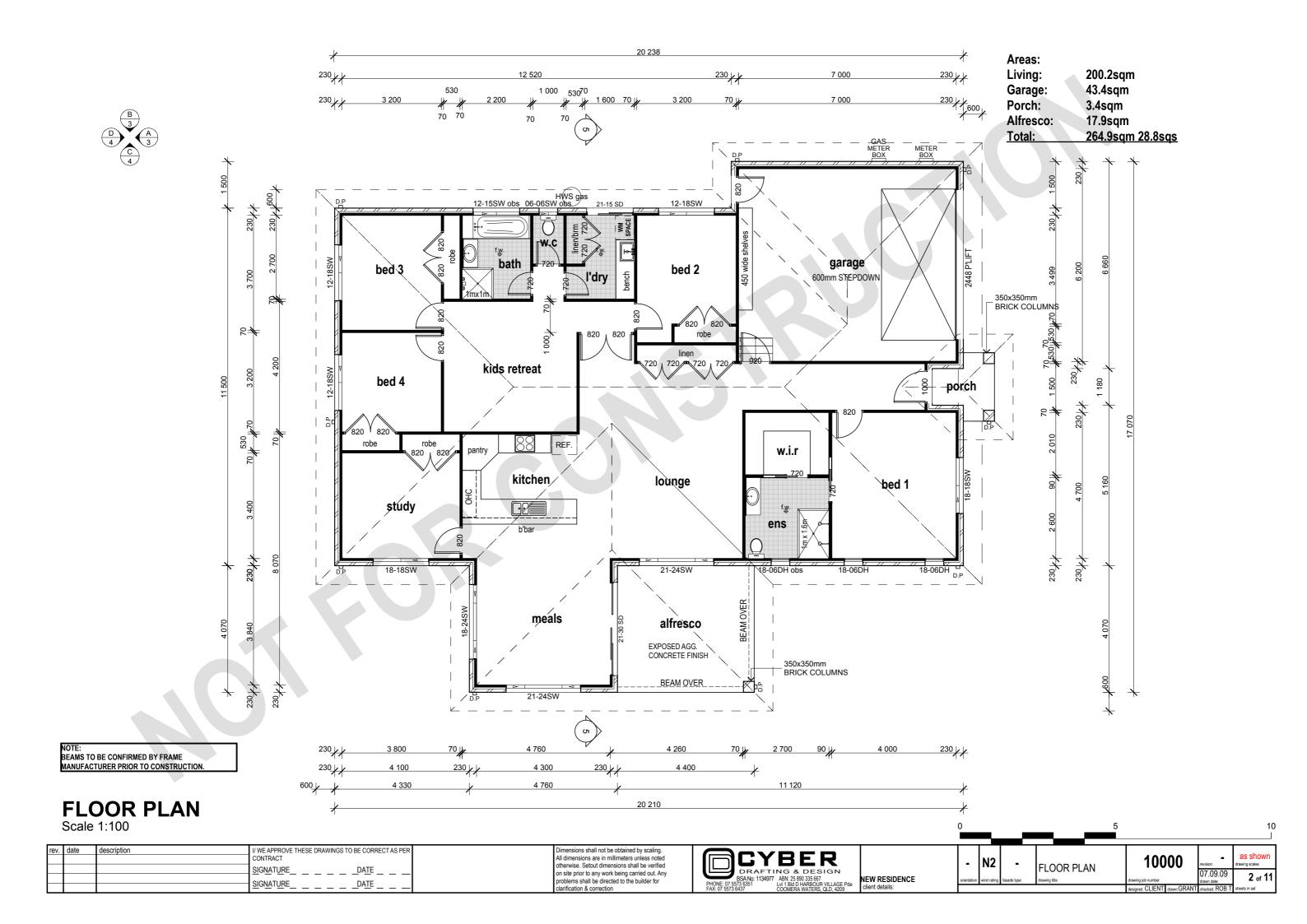
A) A GAS HOT WATER SYSTEM WITH A FIVE STAR ENERGY RATING: OR B) A HEAT PUMP OR A SOLAR HOT WATER SYSTEM WHERE:

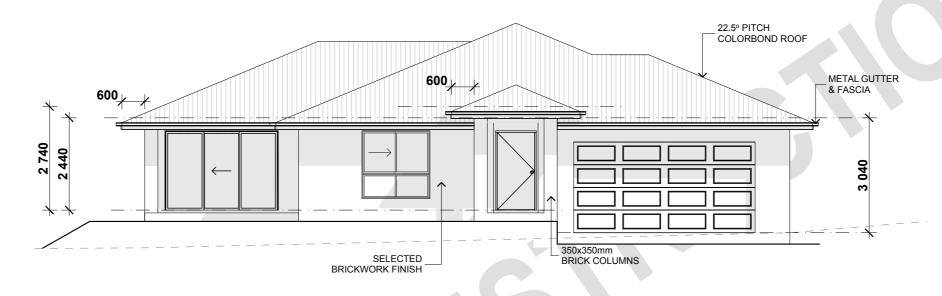
I) IN A BUILDING 3 OR MORE BEDROOMS, THE HOT WATER SYSTEM, MUST BE ELIGIBLE TO RECEIVE AT LEAST 22 RENEWABLE ENERGY CERTIFICATES; OR II)IN A BUILDING WITH 1 OR 2 BEDROOMS THE HOT WATER SYSTEM MUST BE ELIGIBLE TO RECEIVE AT LEAST 14 RENEWABLE ENERGY CERTIFICATES.



SITE PLAN Scale 1:200

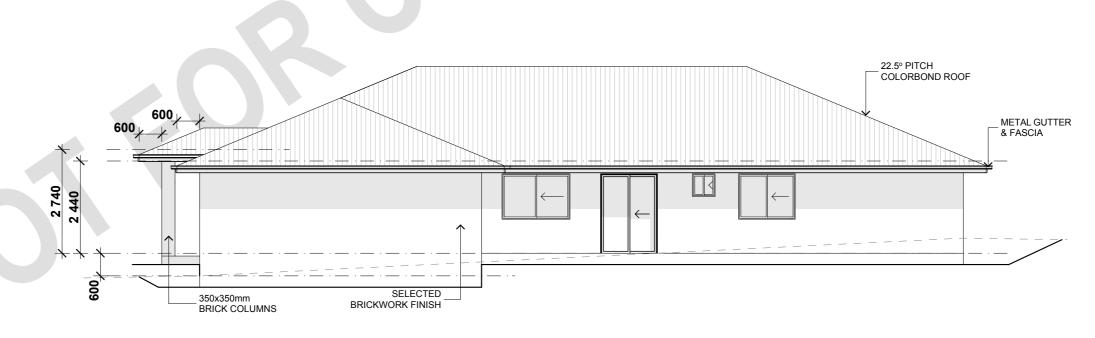
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			CONTRACT	All dimensions are in millimeters unless noted			No l	10000	as snown
			SIGNATURE DATE	otherwise. Setout dimensions shall be verified on site prior to any work being carried out. Any	DETBER DRAFTING & DESIGN	-	NZ - SITE PLAN	10000	77.09.09 drawing scales
			SIGNATURE DATE	problems shall be directed to the builder for		W RESIDENCE orientation	wind rating fasade type drawing title	drawing job number	07.09.09 drawn date: 1 of 11
			SIGNATURE DATE	clarification & correction	FAX: 07 5573 6437 LVI T BIG D HARBOUR VILLAGE POE Clie	ent details:	•	designed: CLIENT drawn: GRANT	checked: ROB T sheets in set





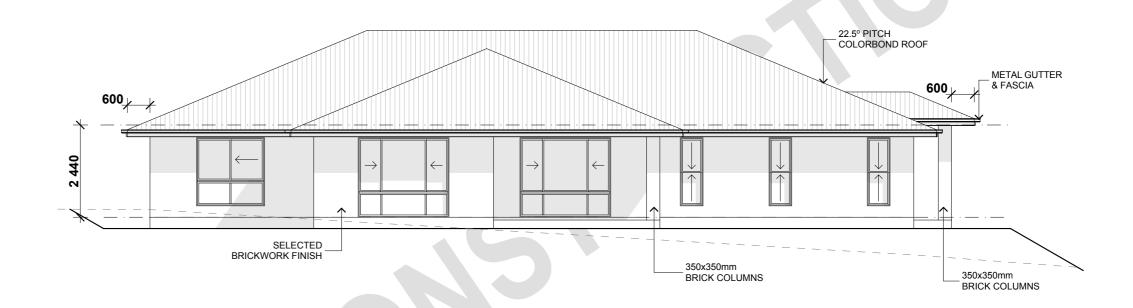
A FRONT ELEVATION

Scale 1:100

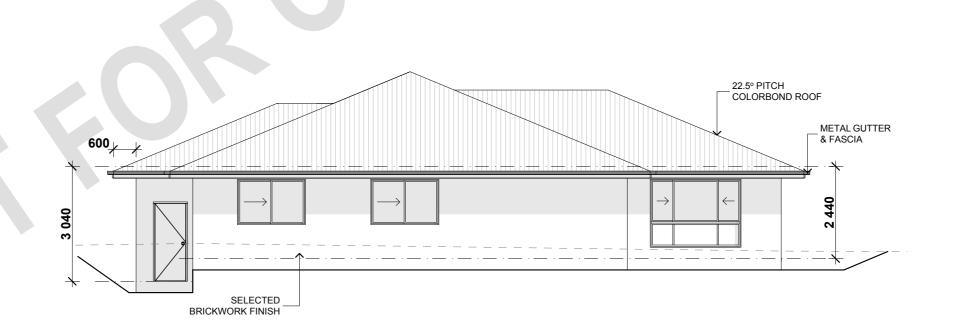


B RIGHT ELEVATION Scale 1:100

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			CONTRACT	All dimensions are in millimeters unless noted		1.	. ไมวไ	l _	1	10000	-	as snown drawing scales
			SIGNATURE DATE	otherwise. Setout dimensions shall be verified on site prior to any work being carried out. Any	DEYBER DRAFTING & DESIGN	1.	- 1142	l -	ELEVATIONS	10000	07.09.09	
				problems shall be directed to the builder for		RESIDENCE	ntation wind rating	fasade type	drawing title		drawn date:	3 of 11
			SIGNATURE DATE	clarification & correction	FAX: 07 5573 6437 LVI 1 Bid D HARBOUR VILLAGE Pde Client d	details:	•	•		designed: CLIENT drawn:GRANT	checked: ROB T	T sheets in set

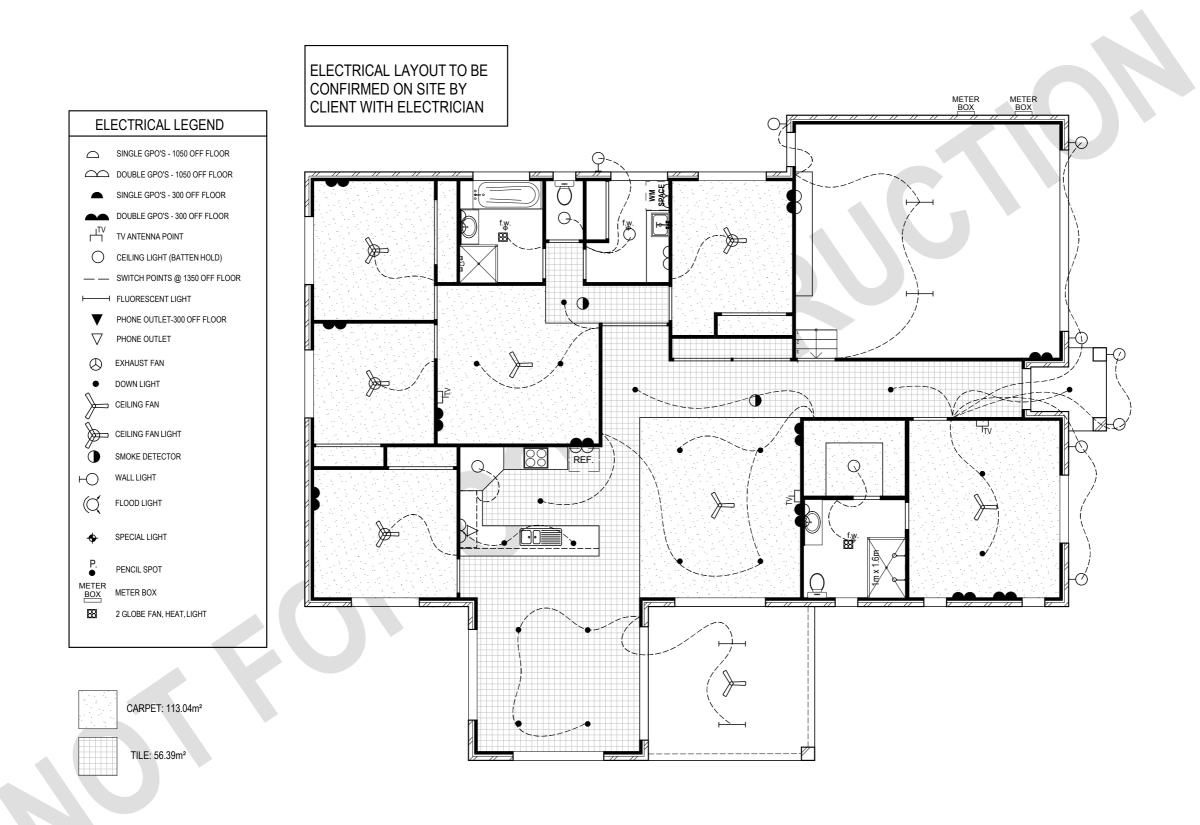


C LEFT ELEVATION Scale 1:100



D REAR ELEVATION Scale 1:100

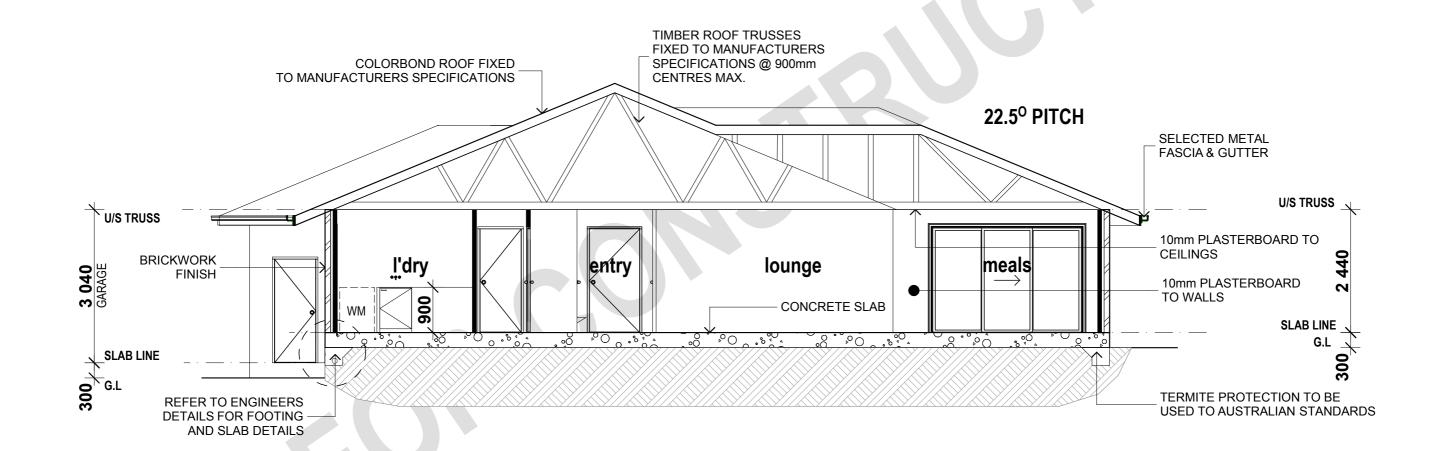
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			CONTRACT	All dimensions are in millimeters unless noted		- N2	10000 - as shown drawing scales
			SIGNATURE DATE	otherwise. Setout dimensions shall be verified on site prior to any work being carried out. Any	DRAFTING & DESIGN	- NZ - ELEVATIONS	
			SIGNATURE DATE	problems shall be directed to the builder for	BSANo: 1134977 ABN: 25 890 335 667 NEW RESIDENCE	orientation wind rating fasade type drawing title	drawing job number 07.09.09 4 of 11
			SIGNATURE DATE	clarification & correction	PHONE: 07 5573 6351		designed: CLIENT drawn: GRANT checked: ROB T sheets in set



ELECTRICAL PLAN & FLOOR COVERINGS

Scale 1:100

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			CONTRACT	All dimensions are in millimeters unless noted			_ N2 _	& FLOOR	10000	as snown
			SIGNATURE DATE	otherwise. Setout dimensions shall be verified on site prior to any work being carried out. Any	DETBER DRAFTING & DESIGN		- NZ -	COVERING PLAN	10000	07.09.09 5 at 11
			SIGNATURE DATE	problems shall be directed to the builder for		EW RESIDENCE on	ientation wind rating fasade type	drawing title	drawing job number	07.09.09 5 of 11
			SIGNATURE DATE	clarification & correction	FAX: 07 5573 6437 EVI T BID D HARBOUR VILLAGE POE COMERA WATERS, QLD, 4209	client details:			designed: CLIENT drawn:GRANT	T checked: ROB T sheets in set

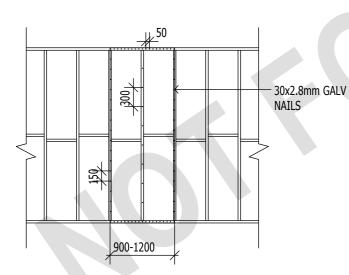


SECTION Scale 1:75

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		CONTRACT	All dimensions are in millimeters unless noted		- N2 - SECTION	10000 - as shown drawing scales
		SIGNATURE DATE	otherwise. Setout dimensions shall be verified on site prior to any work being carried out. Any	DETBER DRAFTING & DESIGN	- NZ - SECTION	07.00.00
		SIGNATURE DATE	problems shall be directed to the builder for	BSA No: 1134977 ABN: 25 890 335 667 NEW RESIDENCE	orientation wind rating fasade type drawing title	drawing job number 07.09.09 6 of 11
		SIGNATURE DATE	clarification & correction	FAX: 07 5573 6437 COOMERA WATERS, QLD, 4209 client details:		designed: CLIENT drawn: GRANT checked: ROB T sheets in set

table	1. (timber sizes) 1storey sheet roof	N2	
single/uppe	r floor ULW 7500mm	ULW 6000mm	ULW 4500mm
member	sizes	sizes	sizes
top plate:	2/70x45 mgp12 or 2/90x45 mgp10	2/70x45 mgp10 or 2/90x35 mgp12	2/70x35 mgp12 or 2/90x45 mgp10
bottom plate:	70x35 mgp12 or 90x35 mgp12	70x35 mgp12 or 90x35 mgp12	70x35 mgp12 or 90x35 mgp10
studs:	70x35 mgp10 for 2400mm ceiling	70x35 mgp10 for 2400mm ceiling	70x35 mgp10 for 2400mm ceiling
	70x35 mgp12 or 90x35 mgp10 for 2700mm ceiling	70x35 mgp12 or 90x35 mgp10 for 2700mm ceiling	70x35 mgp10 or 90x35 mgp10 for 2700mm ceiling
	70x45 mgp12 or 90x35 mgp10 for 3000mm ceiling	70x45 mgp12 or 90x35 mgp10 for 3000mm ceiling	70x35 mgp12 or 90x35 mgp10 for 3000mm ceiling
nogging:	70x35 mgp10	70x35 mgp10	70x35 mgp10

general	
member	sizes
roof pitch:	as noted on elevations
roof type:	sheet metal roof
battens	metal battens spaced 900crs or timber (jd4)
trusses:	pine (jd4) spaced at 900crs to
	manufactures design & specification
binders:	70x35 mgp10 on flat
wall framing:	pine (jd4) ext. wall spaced at 450crs
	pine (jd4) int. wall spaced at 600crs
floor joists:	refer to subfloor layout
bearers:	refer to subfloor layout
flooring:	19mm particleboard flooring
decking:	90x19 cca timber decking

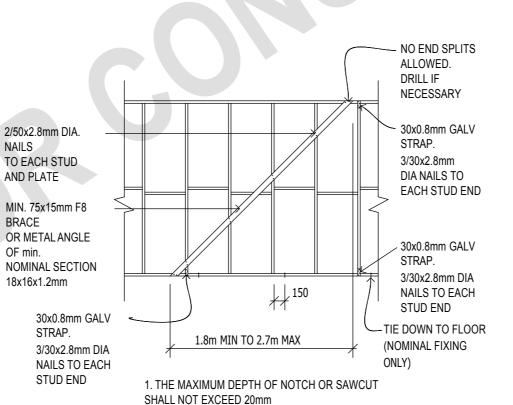


1. 4mm F27 PLY WITH STUDS AT 450 CTRS 2. 4.5mm F27 PLY WITH STUDS AT 600 CTRS

PLY BRACING PANEL

TABLE 8.18 (FIG H "METHOD B") - VALUE

6.0kN/m



2. SAWCUTS SHALL BE DEEMED AS NOTCHES

METAL ANGLE BRACE TYPE A - VALUE 1.5kN/m

(TABLE 8.18 FIG C)



600-900

1. 4mm F27 PLY WITH STUDS AT 450 CTRS

WIND SPEED N2 W33Nm/s SHEET METAL ROOF

30x2.8mm GALV FLATHEAD NAILS

M12 RODS TO EACH END OF SHEET

6.4kN/m

30x0.8mm (OR EQUIVALENT) TENSIONED GALV METAL STRAPS NAILED TO PLATES WITH 4/30x2.8mm DIA GALV. FLATHEAD NAILS TO EACH END

30x0.8mm GALV STRAP LOOPED OVER PLATE AND FIXED TO STUD WITH 4/30x2.8mm DIA FLATHEAD NAILS TO EACH END. ALTERNATIVELY, PROVIDE SINGLE STRAPS TO BOTH SIDES, WITH 4 NAILS PER STRAP END, OR EQUIVALENT AN ANCHORS OR OTHER FASTENERS.

DOUBLE DIAGONAL TENSION OR METAL STRAP CROSS BRACES

1.8m MIN TO 2.7m MAX

TYPE D - VALUE	3.0kN/m
(TABLE 8.18 FIG D)	

rev.	date	description	I/ WE APPROVE THESE DRAWINGS TO BE CORRECT AS PE CONTRACT			
			SIGNATURE DATE			
\vdash			SIGNATUREDATE			

imensions shall not be obtained by scaling. CYBER All dimensions are in millimeters unless noted otherwise. Setout dimensions shall be verified DRAFTING & DESIGN
BSAN0: 1134977 ABN: 25 890 335 667
PHONE: 07 5573 6437 Lu 1 Bid D HARBOUR VILLAGE Pde
FAX: 07 5573 6437 COOMERA WATERS, QLD, 4209 on site prior to any work being carried out. Any problems shall be directed to the builder for arification & correction



-	N2	-	TD & B SHEET 1
ientation	wind rating	fasade type	drawing title

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ving job number	07.09.09 drawn date:	7 of '
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specifications & construction details

reference codes:

all construction to be in accordance with the building code of australia 1996 to therein.

general specifications preliminaries:

all construction methods, materials, & workmanship must comply with the building act and subsequent amendments and all australian standards referred to therein. it is the builders responsibility to verify the contents of this document before construction is commenced. written measurements are to the face of the timber framing or the brickwork and are to take preference over scaled measurements.

all levels are to be verified on site.

concretor:

all concrete shall comply with a.s. 3600. footings and slabs shall comply with a.s. 2870-1995. where local authorities require soil tests and engineered footing and slab details, these engineered details take preference over drawn details. the method of termite control shall comply with a.s.3660.1

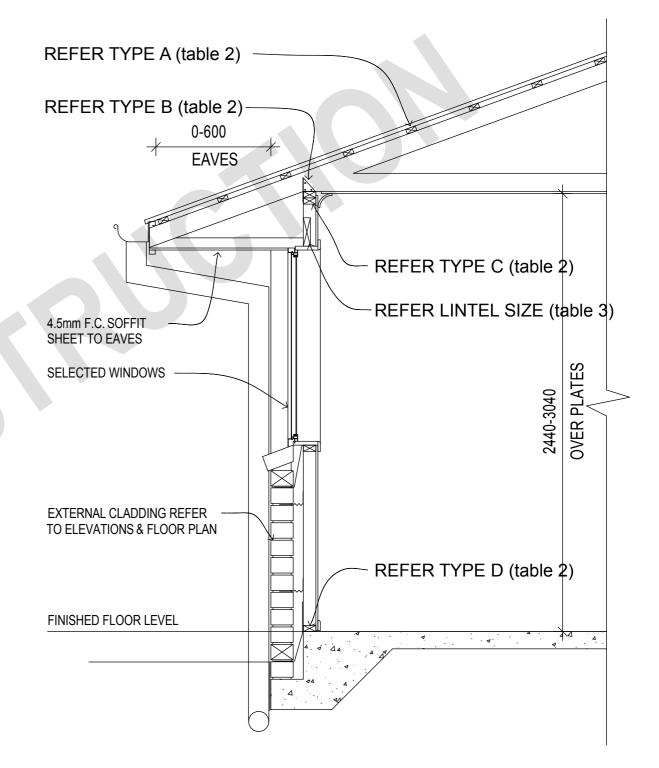
<u>carpenter:</u>

all timber sizes are the minimum required under AS.1684.2 walls are 2400 single/upper & 2700 lower storey unless otherwise noted. wc doors are to be fitted with lift off hinges timber sizes to be as per table 1. tie down to be as per table 2. and as specified on plan. roof trusses to be as per engineered design by authorised manufacturers. fixing to be as per table 2. trusses to be braced strictly in accordance with the manufacturers recommendations. lintel sizes as per table 3.

other trades:

unless otherwise specified: the walls to be sheeted with 10mm thick gypsum plasterboard, 6mm thick villaboard to wet areas. ceilings to be 10mm thick gypsum plasterboard where roof trusses/ceiling joists are at 900mm centres roof sheeting to be fixed in accordance with the manufacturers specifications brickwork shall be straight plumb and level (within tolerances as allowed in the australian standards code for brickwork) and have veneer ties at maximum 600mm centers horizontally and vertically, smoke alarms to comply with b.c.a. class 1 & 10 part 3.7.2 and with a.s. 3786.

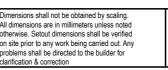
	(stand	ard lintel schedul	e)	
table 3.	· ·		600crs max 2.7 c	,	ight
opening	jamb studs	ULW	7500	jamb studs	ULW 6000
900	2	2/90x3	5 pine mgp12	2	140x35 pine mgp12
1200	3	140x35	pine mgp12	3	140x35 pine mgp12
1500	3	2/140x	35 pine mgp12	3	190x35 pine mgp12
1800	4	2/190x	35 pine mgp12	4	2/190x35 pine mgp12
2100	5	2/190x	35 pine mgp12	5	2/190x35 pine mgp12
2400	5	2/200x4	45 HYNE LGL	5	2/190x35 pine mgp12
2700	*N/A	2/245x4	45 HYNE LGL	*N/A	245x65 HYNE LGL
3000	*N/A	300x45	HYNE LGL	*N/A	2/245x65 HYNE LGL
opening	jamb studs	ULW	4500		
900	2	140x35	pine mgp12		
1200	3	140x35	pine mgp12		
1500	3	2/140x	35 pine mgp12		
1800	4	190x35	pine mgp12		
2100	5	2/190x	35 pine mgp12		
2400	5	2/190x	35 pine mgp12		
2700	*N/A	2/200x	45 HYNE LGL		
3000	*N/A	2/245x45 HYNE LGL			
NOTE: FOR LINTE OR FRAME MANUFA			RDER TRUSSES REFE	ER TO FLOO	OR PLAN
steel lintels sup	porting u	pper b	orickwork only		
UP TO 1000mm: 85x8 FLAT BAR. 90mm END SUPPORT				ORT	
1001mm TO 2100mm:			100x100x6 ANGLE. 100mm END SUPPORT		
2101mm TO 3600mm:			150x100x8 ANGLE. 100mm END SUPPORT		
*N/A PRO	JECT ASSES	SMENT	REQUIRED		



SECTION DETAIL

termite protection: slab edge exposure for slab perimeter. For penetrations & control joints use stainless steel.

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			CONTRACT	1
			SIGNATURE DATE	
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ESIDENCE	orientation	wind rating	fasade type	drawi
tails:				

TD & B SHEET 2	10000		revision	as shown drawing scales
drawing title	drawing job number		07.09.09 drawn date:	8 of 11
	designed: CLIENT	drawn:GRANT	checked: ROB T	sheets in set

NOTE: IN ADDITION TO TIE DOWN & BRACING REQUIREMENTS, THE BOTTOM PLATE OF ALL WALLS (LOAD & NON-LOAD BEARING) ARE TO BE FIXED TO THE SLAB AS FOLLOWS: HAMMERED, FIRED, SCREWED OR EXPANSION MASONARY FASTENERS AT 1200mm CENTRES ALONG THE PLATE.

N2 ULW 4.500m

table 2. (tie down) SIngle storey sheet roof						
		Force Required	Force Provided	Description	Centres	
type A	Roof Batten to Rafters of Trusses	1.5	4.5	1xNo.14 Type 17 Batten Screw Min. 35mm Penetration.	N/A	
type B	Rafter/Truss to Wall Frame	3.0	3.5	Framing Anchor 4/2.8 dia nails to each end.	900mm Every Truss	
type C	Plates to Studs	1.7	3.5	30x0.8 GI Stud Strap. 2 Nails Each Side.	Every Stud	
type D	Bottom Plates to Slab	1.7	12.5	M10 Screw Tip Bolt or Epoxy Set 75MM Embedment	1200mm & Every Window, Jamb Stud & Corner Stud.	
	Verandah Posts or Balcony Columns	N/A	N/A	N/A	N/A	

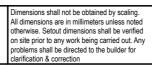
N2 ULW 6.000m

table 2	table 2. (tie down) SIngle storey sheet roof						
		Force Required	Force Provided	Description	Centres		
type A	Roof Batten to Rafters of Trusses	1.5	4.5	1xNo.14 Type 17 Batten Screw Min. 35mm Penetration.	N/A		
type B	Rafter/Truss to Wall Frame	4.0	5.9	Framing Anchor x 2 4/2.8 dia nails to each end.	900mm Every Truss		
type C	Plates to Studs	2.2	3.5	30x0.8 GI Stud Strap. 2 Nails Each Side.	Every Stud		
type D	Bottom Plates to Slab	2.2	12.5	M10 Screw Tip Bolt or Epoxy Set 75MM Embedment	1200mm & Every Window, Jamb Stud & Corner Stud.		
	Verandah Posts or Balcony Columns	0.0	N/A	N/A	N/A		

N2 ULW 7.500m

table 2	table 2. (tie down) SIngle storey sheet roof						
		Force Required	Force Provided	Description	Centres		
type A	Roof Batten to Rafters of Trusses	1.5	4.5	1xNo.14 Type 17 Batten Screw Min. 35mm Penetration.	N/A		
type B	Rafter/Truss to Wall Frame	5.0	5.9	Framing Anchor x 2 4/2.8 dia nails to each end.	900mm Every Truss		
type C	Plates to Studs	2.8	3.5	30x0.8 GI Stud Strap. 2 Nails Each Side.	Every Stud		
type D	Bottom Plates to Slab	2.8	12.5	M10 Screw Tip Bolt or Epoxy Set 75MM Embedment	1200mm & Every Window, Jamb Stud & Corner Stud.		
	Verandah Posts or Balcony Columns	0.0	N/A	N/A	N/A		

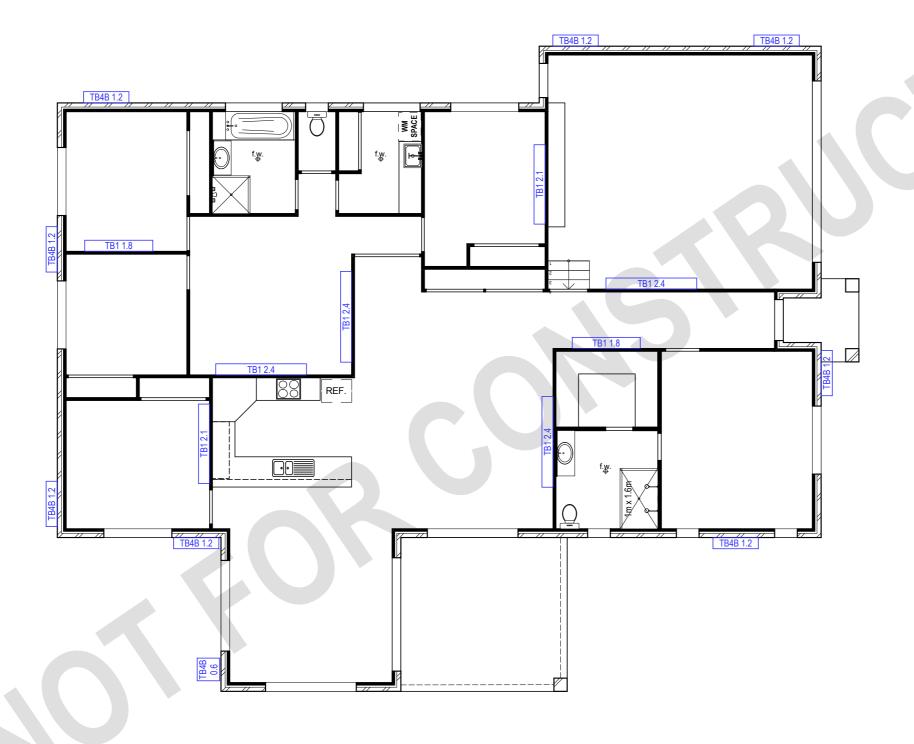
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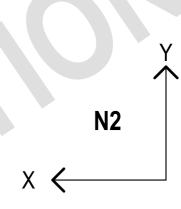




	-	N2	-	TD & B SHEET 3
RESIDENCE	orientation	wind rating	fasade type	drawing title
details:				

100	000	revision	as shown drawing scales
drawing job number		07.09.09 drawn date:	9 of 11
designed: CLIENT	drawn:GRANT	checked: ROB T	sheets in set





Bracing Table Kn Req. in 'X' direction		N2 = 46.41
BRACING TYPE Ply panel @ 1200mm Diag. brace @ 2400mm Diag. brace @ 1800mm	No. 5 2 2	Kn 36 7.2 5.4
TOTAL		= 48.60
Kn Req. in 'Y' direction		= 37.26
BRACING TYPE Ply panel @ 1200mm Ply panel @ 600mm Diag. brace @ 2400mm Diag. brace @ 2100mm	No. 3 1 2 2	Kn 21.6 3.6 7.2 6.3
TOTAL		= 38.70

BRACING PLAN Scale 1:100

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			SIGNATURE	DATE

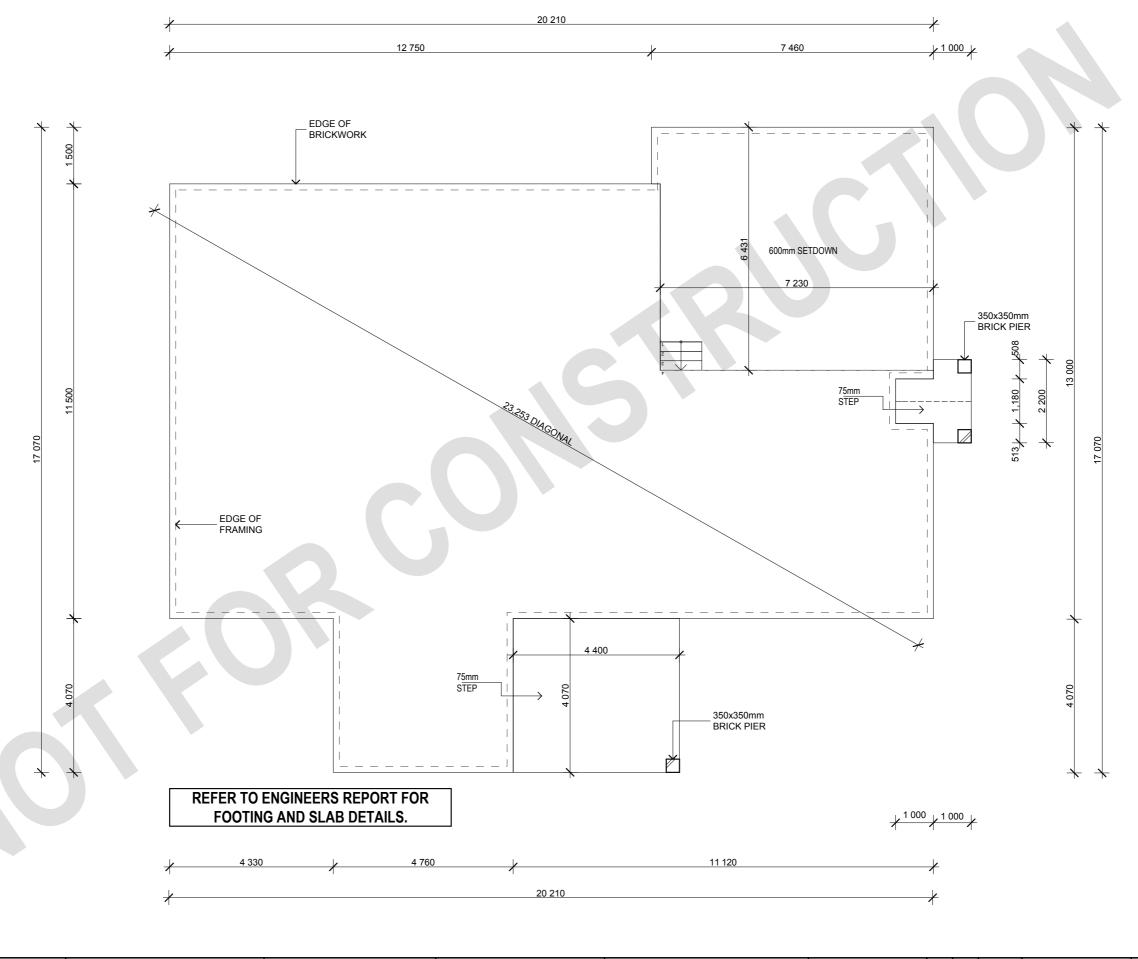
Dimensions shall not be obtained by scaling. All dimensions are in millimeters unless noted otherwise. Setout dimensions shall be verified on site prior to any work being carried out. Any problems shall be directed to the builder for clarification & correction



	-	N2	l
ENCE	orientation	wind rating	l

-	N2	-	BRACING PLAN	
entation	wind rating	fasade type	drawing title	drawir

10000		revision	as shown drawing scales	
drawing job number		07.09.09 drawn date:	10 of 11	
designed: CLIENT	drawn:GRANT	checked: ROB T	sheets in set	



SLAB PLAN Scale 1:100