

GENERAL NOTES

1. THE BUILDING CODE OF AUSTRALIA (B.C.A.) & RELEVANT AMENDMENTS AND UPDATES, INCLUDING THE STANDARDS ASSOCIATION OF AUST. (AS.) CODES SHALL BE THE MINIMUM STANDARDS FOR COMPLIANCE.
2. CHECK ALL DIMENSIONS OF SITE AND BUILDING(S) SETOUT PLANS AND CHECK AGAINST SURVEYORS SITE SETOUT. CLARIFY ANY DISCREPANCY TO NOTED DIMENSIONS OR OFFSETS PRIOR TO CONSTRUCTION OF ANY WORK. ENSURE SURVEYORS WORK RELATES TO CURRENT SITE FIELD WORK AND NOT THE COMPILED VIDE TITLE.
3. NOTED DIMENSIONS SHALL TAKE PRECEDENCE TO SCALED DIMENSIONS.
4. CHECK HYDRAULIC AND MECHANICAL PLANS FOR SETOUT AND SIZING OF SERVICE DUCT(S) WHERE & IF APPLICABLE.
5. CO-ORDINATE ALL CONSULTANTS DOCUMENTS AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE RELEVANT CONSULTANT(S) PRIOR TO THE CONSTRUCTION OF THAT PART OF THE WORKS.
6. CHECK ON SITE - OPENINGS BEFORE FABRICATION OF DOORS, WINDOWS & ANY OTHER FIXTURES. GIVEN SIZES ARE FOR QUOTATION PURPOSES ONLY AND MUST BE CONFIRMED ON SITE.
7. CHECK THE CONSTRUCTION PLAN IS THE MOST RECENT AMENDMENT. IF IN DOUBT CONFIRM WITH THE RELEVANT CONSULTANT.
8. REFER SPECIFIC CONDITIONS OF BUILDING APPROVAL FOR ANY ADDITIONAL REQUIREMENTS.
9. ENSURE DOORS TO SANITARY COMPARTMENTS COMPLY WITH THE BUILDING CODE OF AUSTRALIA F2.5 AND HAVE EITHER :  
(a) LIFT OFF HINGES FOR INWARD SWINGING DOORS or  
(b) OUTWARD SWINGING DOORS.
10. ALL AREAS UNDER BUILDING WORK TO BE PROTECTED FROM TERMITE ATTACK IN ACCORDANCE WITH AN APPROVED METHOD UNDER AS.3660.1
11. TIMBER FRAMING SHALL BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA (B.C.A.) , PLUS ALL AMENDMENTS, AND THE 'LIGHT TIMBER FRAMING CODE' AS.1684, PART 2 FOR NON-CYCLONIC AREAS AND AS.1684 PART 1 FOR CYCLONIC AREAS.

AUSTRALIAN STANDARDS

ALL WORKMANSHIP AND MATERIALS SHALL COMPLY WITH RELEVANT CURRENT AUSTRALIAN STANDARDS AND THE CURRENT BUILDING ACT.

SMOKE ALARMS TO COMPLY WITH B.C.A. CLASS 1&10 PART 3.7.2 AND WITH A.S. 3786.

ALUMINIUM FRAMED, GLAZED JOINERY SHALL BE INSTALLED IN ACCORDANCE WITH A.S.1288 "INSTALLATION OF GLASS IN BUILDINGS"

WET AREAS SHALL BE WATERPROOFED IN ACCORDANCE WITH AS.3740 "WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS"

AREAS OF BUILDING TO BE TERMITE PROTECTED SHALL BE DONE SO IN ACCORDANCE WITH AS.3660.1 "PROTECTION OF BUILDING FROM SUBTERRANEAN TERMITES" PART 1:NEW BUILDINGS.



CYBER

DRAFTING & DESIGN

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DRAWING SCHEDULE	
SHEET NO.	SHEET NAME
	COVER PAGE
1	SITE PLAN
2	FLOOR PLAN
3	ELEVATIONS
4	ELEVATIONS
5	ELECTRICAL PLAN & FLOOR COVERING PLAN
6	SECTION
7	TD & B SHEET 1
8	TD & B SHEET 2
9	TD & B SHEET 3
10	BRACING PLAN
11	SLAB PLAN



REQUIREMENTS FOR SUSTAINABLE BUILDINGS

FOR NEW CLASS 1 BUILDING AND SOLE-OCCUPANCY UNIT OF A NEW CLASS 2 BUILDING, AND RENOVATED BATHROOMS IN AN EXISTING CLASS 1 AND A SOLE-OCCUPANCY UNIT OF AN EXISTING CLASS 2 FOR BUILDING.

ACCEPTABLE SOLUTIONS:

SHOWER ROSES: (TO RETICULATED MAINS WATER SUPPLY AREAS ONLY)  
THIS APPLIES TO NEW CLASS 1 BUILDINGS AND SOLE-OCCUPANCY UNITS OF NEW CLASS 2 BUILDINGS, OR WHERE THE BATHROOM OF THESE BUILDING RENOVATIONS. SHOWER ROSES TO BE 3 STAR RATING UNDER WATER EFFICIENCY LABELLING SCHEME (WELS) OR A AAAA RATING WHEN ASSESSED AGAINST AS/NZ 6400:2005 WATER EFFICIENT PRODUCTS- RATING AND LABELLING.

WATER PRESSURE LIMIT: (TO RETICULATED MAINS WATER SUPPLY AREAS ONLY)  
THE MAXIMUM PRESSURE LEVEL OF WATER FROM ANY OUTLET WITHIN THE PROPERTY BOUNDARIES OF A NEW CLASS 1 BUILDING MUST NOT EXCEED 500KPA. COMPLIANCE CAN BE ACHIEVED THROUGH THE INSTALLATION OF A WATER PRESSURE LIMITING DEVICE IN LINE WITH THE WATER METER. WHERE IT IS KNOWN THAT THE PRESSURE LEVEL OF THE WATER SUPPLY DOES NOT EXCEED 500KPA, WATER PRESSURE LIMITING DEVICE IS NOT REQUIRED.


DUAL FLUSH TOILETS:  
THIS APPLIES TO NEW CLASS 1 BUILDINGS AND SOLE-OCCUPANCY UNITS OF NEW CLASS 2 BUILDINGS OR WHERE TOILETS ARE REPLACED IN THE BATHROOMS OF THESE BUILDING CLASSIFICATIONS UNDERGO RENOVATIONS. A TOILET MUST HAVE A DUAL FLUSH CAPACITY THAT DOES NOT EXCEED 6 LITRES ON FULL FLUSH AND 3 ON HALF FLUSH.

ENERGY EFFICIENT LIGHTING:  
THIS APPLIES TO NEW CLASS 1 BUILDINGS AND SOLE-OCCUPANCY UNITS IN CLASS 2 BUILDINGS. ENERGY EFFICIENT LIGHTING INCLUDES FLUORESCENT AND COMPACT FLUORESCENT LIGHTS. IT DOES NOT INCLUDE INCANDESCENT OR HALOGEN LIGHTS. COMPLIANCE IS ACHIEVED WHEN ENERGY EFFICIENT LIGHTS ARE USED FOR ABOUT 80% OF THE TOTAL FLOOR AREA OF THE BUILDING OR SOLE-OCCUPANCY UNIT. (FLOOR AREA MEANS THE AREA OF A ROOM MEASURED WITHIN THE FINISHED SURFACES OF THE WALLS, AND INCLUDES THE AREA OCCUPIED BY ANY CUPBOARD OR OTHER BUILT IN FURNITURE, FIXTURE OR FITTING) THIS AREA INCLUDES ASSOCIATED GARAGES.  
WHERE PART OF A HOUSE IS LIT BY MORE THEN ONE LIGHT SOURCE, AND ONE MORE OF THOSE LIGHT SOURCES IS NOT DEEMED TO BE EFFICIENT LIGHTING, THEN THAT PART OF THE HOUSE IS NOT CONSIDERED TO HAVE EFFICIENT LIGHTING, AND THEN THEREFORE DOES NOT QUALIFY TOWARDS THE 80% EFFICIENT LIGHT REQUIREMENT.

HOT WATER SUPPLY: IN A NEW CLASS 1  
A SUITABLE HOT WATER SYSTEM INCLUDES:  
A) A GAS HOT WATER SYSTEM WITH A FIVE STAR ENERGY RATING: OR  
B) A HEAT PUMP OR A SOLAR HOT WATER SYSTEM WHERE:  
    I) IN A BUILDING 3 OR MORE BEDROOMS , THE HOT WATER SYSTEM, MUST BE ELIGIBLE TO RECEIVE AT LEAST 22 RENEWABLE ENERGY CERTIFICATES; OR  
    II) IN A BUILDING WITH 1 OR 2 BEDROOMS THE HOT WATER SYSTEM MUST BE ELIGIBLE TO RECEIVE AT LEAST 14 RENEWABLE ENERGY CERTIFICATES.

# SITE PLAN

Scale 1:200

rev.	date	description	I/ WE APPROVE THESE DRAWINGS TO BE CORRECT AS PER CONTRACT	Dimensions shall not be obtained by scaling. All dimensions are in millimeters unless noted otherwise. Setout dimensions shall be verified on site prior to any work being carried out. Any problems shall be directed to the builder for clarification & correction	<div><div>BSANo: 1134977    ABN: 25 800 335 667 PHONE: 07 5573 6351    Lvl 1 Bld D HARBOUR VILLAGE Pde FAX: 07 5573 6437    COOMERA WATERS, QLD, 4209</div></div>	NEW RESIDENCE client details:	-	N2	-	SITE PLAN	10000	revision	-	as shown
		SIGNATURE _____	DATE _____				orientation	wind rating	fasade type	drawing title	drawing job number	07.09.09	1 of 11	
		SIGNATURE _____	DATE _____								designed: CLIENT	drawn: GRANT	checked: ROBT	sheets in set

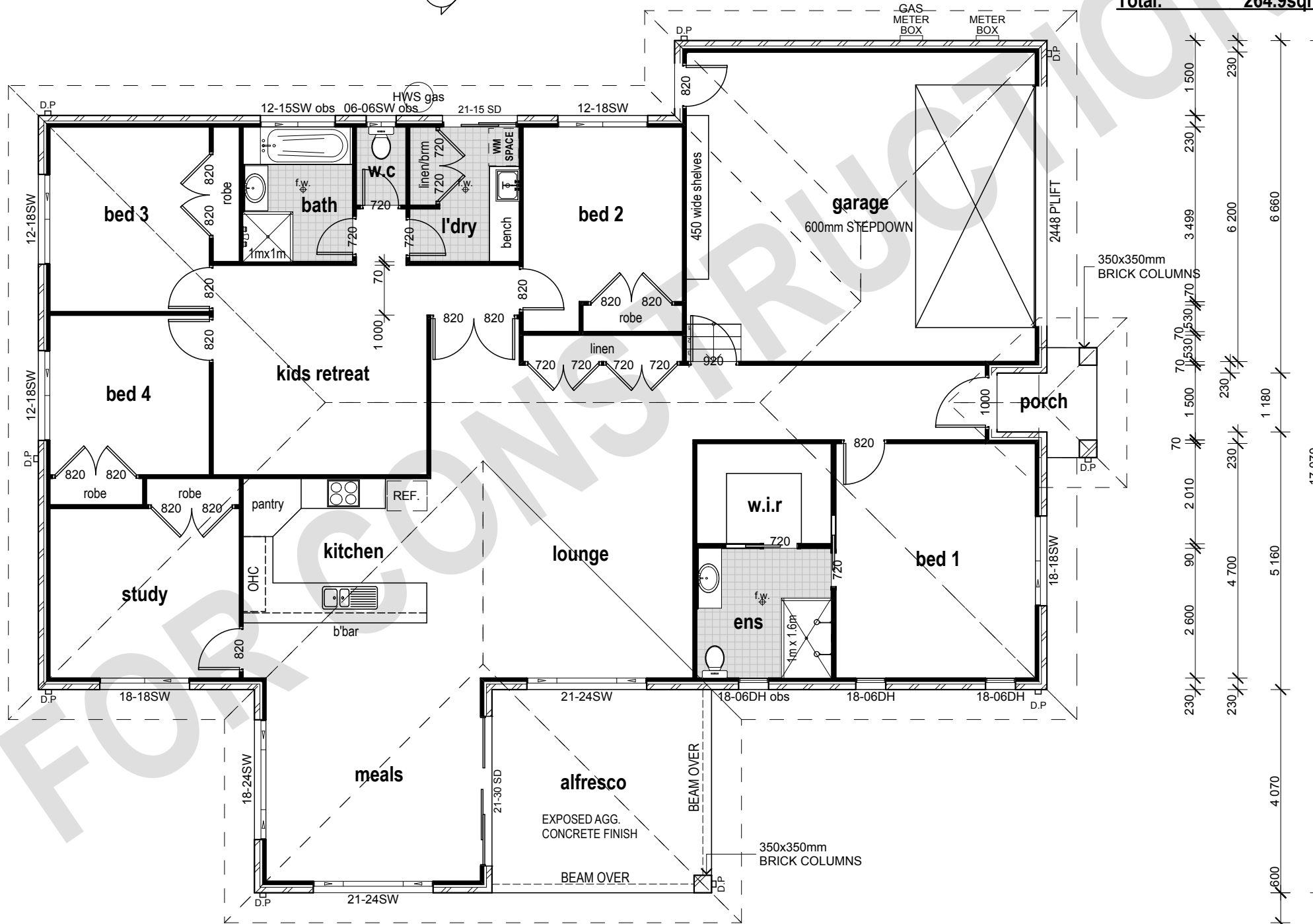
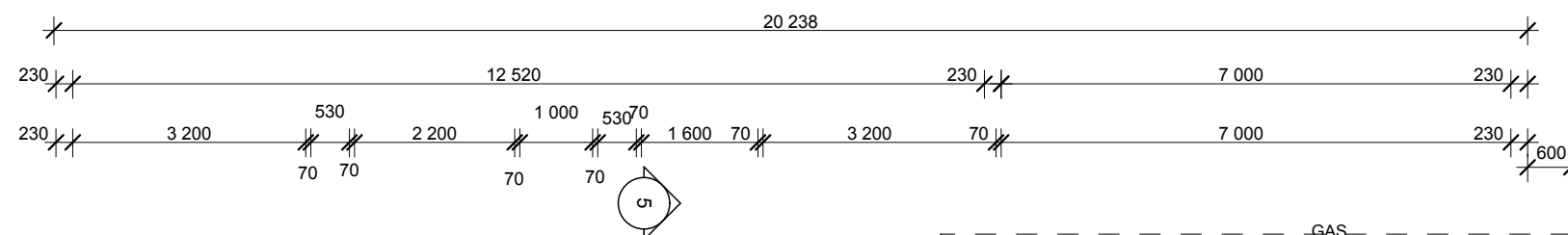



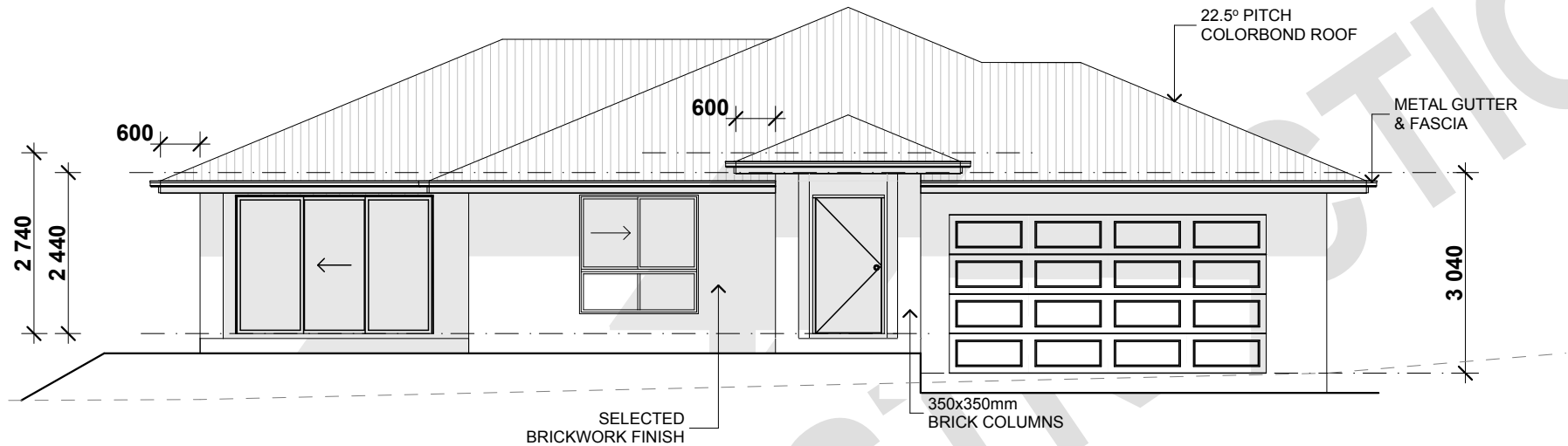
Diagram of a 5-axle truck with dimensions in mm:

- 230
- 3 800
- 70
- 4 760
- 4 260
- 70
- 2 700
- 90
- 4 000
- 230
- 20 210

Scale 1:100

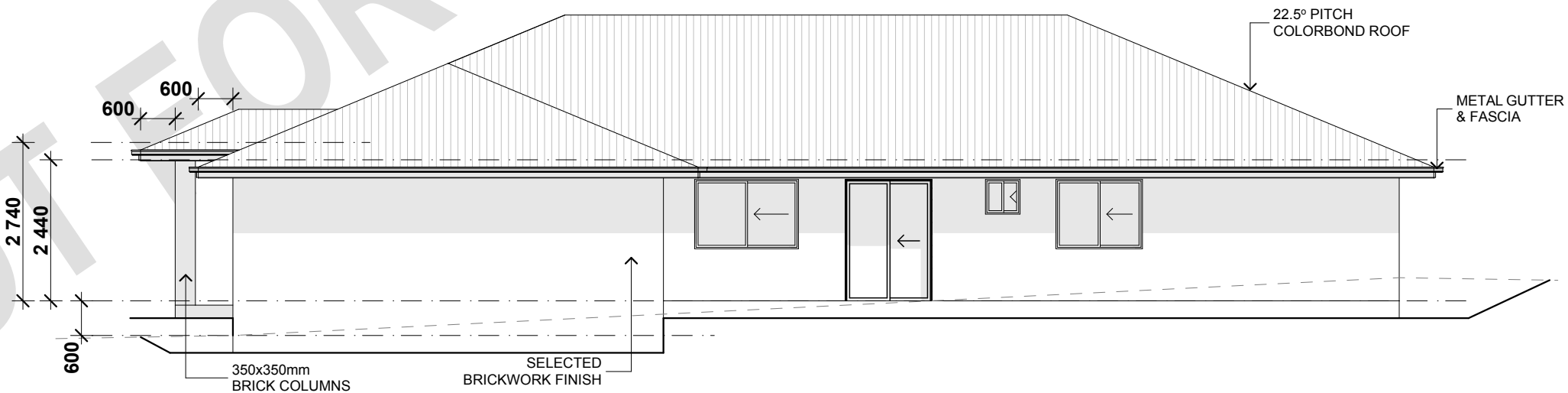
rev.	date	description	I/ WE APPROVE THESE DRAWINGS TO BE CORRECT AS PER CONTRACT  SIGNATURE _____ DATE _____  SIGNATURE _____ DATE _____	Dimensions shall not be obtained by scaling. All dimensions are in millimeters unless noted otherwise. Setout dimensions shall be verified on site prior to any work being carried out. Any problems shall be directed to the builder for clarification & correction.	 <p>BSANo: 1134917 ABN: 25 890 335 667 Lvl 1 Bld D HARBOUR VILLAGE Pde FAX: 02 5573 6437 10/10/2017</p>	NEW RESIDENCE client details:	<div style="display: flex; justify-content: space-between;"> <div>- N2 -</div> <div>FLOOR PLAN</div> <div>10000</div> </div> <div style="display: flex; justify-content: space-between;"> <div>orientation wind rating facade type</div> <div>drawing title</div> <div>drawing job number</div> </div> <div style="display: flex; justify-content: space-between;"> <div>designed: CLIENT drawn: GRANT checked: RORT</div> <div></div> </div>	revision - as shown drawing scales 07.09.09 drawn date 2 of 1 sheets in set
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**ELEVATIONS ARE INDICATIONAL ONLY  
SOME VARIATIONS MAY OCCUR ON SITE**




## A FRONT ELEVATION

Scale 1:100



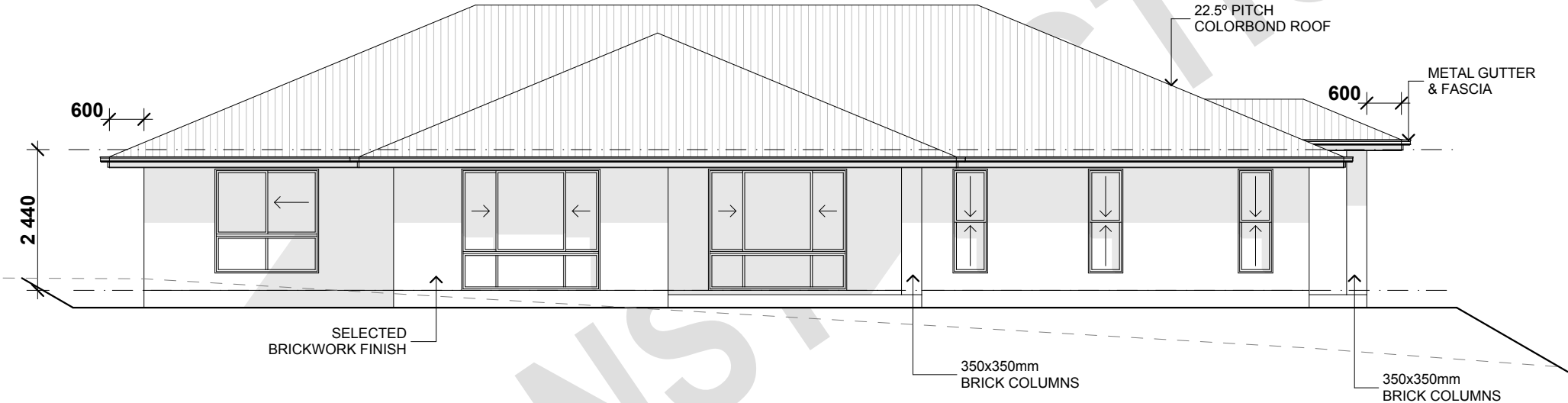
## B RIGHT ELEVATION

Scale 1:100

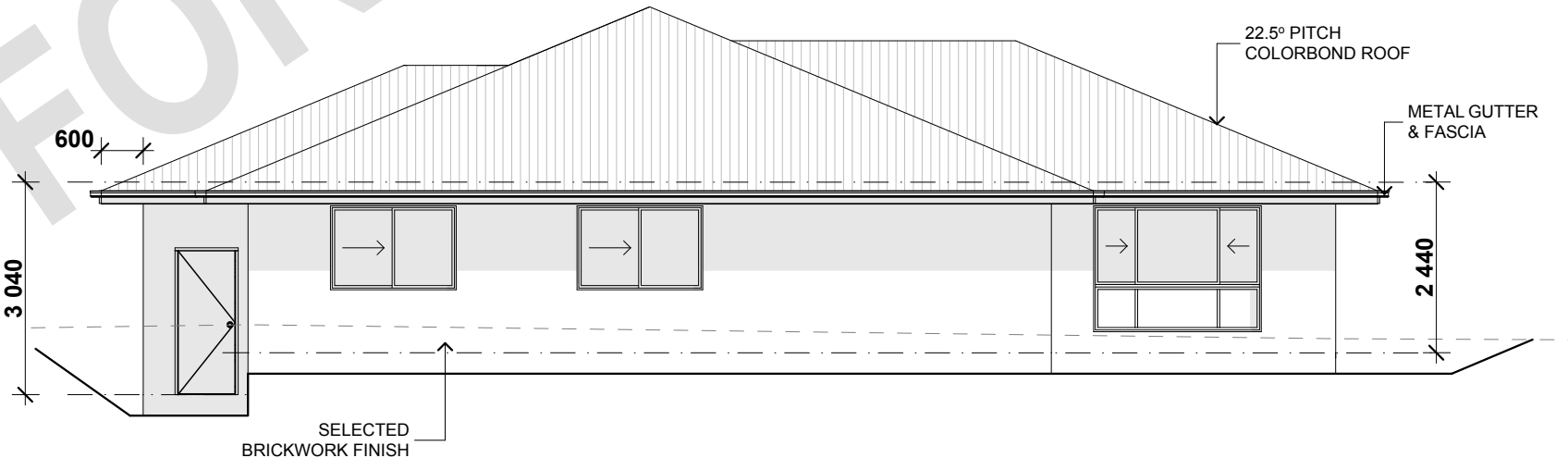
rev.	date	description	I/ WE APPROVE THESE DRAWINGS TO BE CORRECT AS PER CONTRACT	Dimensions shall not be obtained by scaling. All dimensions are in millimeters unless noted otherwise. Setout dimensions shall be verified on site prior to any work being carried out. Any problems shall be directed to the builder for clarification & correction	<div><div></div><div>BSANo: 1134977    ABN: 25 690 335 667 PHONE: 07 5573 6351    Lvl 1 Bld D HARBOUR VILLAGE Pde FAX: 07 5573 6437    COOMERA WATERS, QLD 4209</div></div>	NEW RESIDENCE client details:	-	N2	-	ELEVATIONS	10000	-	as shown
		SIGNATURE _____ DATE _____	revision				07.09.09	3 of 11					
		SIGNATURE _____ DATE _____	drawing job number				designed: CLIENT	drawn: GRANT	checked: ROBT	sheets in set			


ELEVATIONS ARE INDICATIONAL ONLY  
SOME VARIATIONS MAY OCCUR ON SITE

C LEFT ELEVATION  
Scale 1:100



D REAR ELEVATION  
Scale 1:100



rev.	date	description	I/ WE APPROVE THESE DRAWINGS TO BE CORRECT AS PER CONTRACT	Dimensions shall not be obtained by scaling. All dimensions are in millimeters unless noted otherwise. Setout dimensions shall be verified on site prior to any work being carried out. Any problems shall be directed to the builder for clarification & correction	 BSANo: 1134977    ABN: 25 890 335 667 PHONE: 07 5573 6351    Lvl 1 Bld D HARBOUR VILLAGE Pde FAX: 07 5573 6437    COOMERA WATERS, QLD, 4209	NEW RESIDENCE client details:	-	N2	-	ELEVATIONS	10000	-	as shown			
		SIGNATURE _____ DATE _____	revision				07.09.09	4 of 11								
		SIGNATURE _____ DATE _____	orientation				wind rating		fasade type	drawing title	drawing job number	drawn date:	designed: CLIENT	drawn: GRANT	checked: ROB T	sheets in set











specifications & construction details

reference codes:

all construction to be in accordance with the building code of australia 1996 to therein.

general specifications preliminaries:

all construction methods, materials, & workmanship must comply with the building act and subsequent amendments and all australian standards referred to therein. it is the builders responsibility to verify the contents of this document before construction is commenced. written measurements are to the face of the timber framing or the brickwork and are to take preference over scaled measurements. all levels are to be verified on site.

concretor:

all concrete shall comply with a.s. 3600. footings and slabs shall comply with a.s. 2870-1995. where local authorities require soil tests and engineered footing and slab details, these engineered details take preference over drawn details. the method of termite control shall comply with a.s.3660.1

carpenter:

all timber sizes are the minimum required under AS.1684.2 walls are 2400 single/upper & 2700 lower storey unless otherwise noted. wc doors are to be fitted with lift off hinges timber sizes to be as per table 1. tie down to be as per table 2. and as specified on plan. roof trusses to be as per engineered design by authorised manufacturers. fixing to be as per table 2. trusses to be braced strictly in accordance with the manufacturers recommendations. lintel sizes as per table 3.

other trades:

unless otherwise specified: the walls to be sheeted with 10mm thick gypsum plasterboard, 6mm thick villaboard to wet areas. ceilings to be 10mm thick gypsum plasterboard where roof trusses/ceiling joists are at 900mm centres roof sheeting to be fixed in accordance with the manufacturers specifications brickwork shall be straight plumb and level (within tolerances as allowed in the australian standards code for brickwork) and have veneer ties at maximum 600mm centers horizontally and vertically. smoke alarms to comply with b.c.a. class 1 & 10 part 3.7.2 and with a.s. 3786.

table 3. (standard lintel schedule) studs 600crs max 2.7 ceiling height

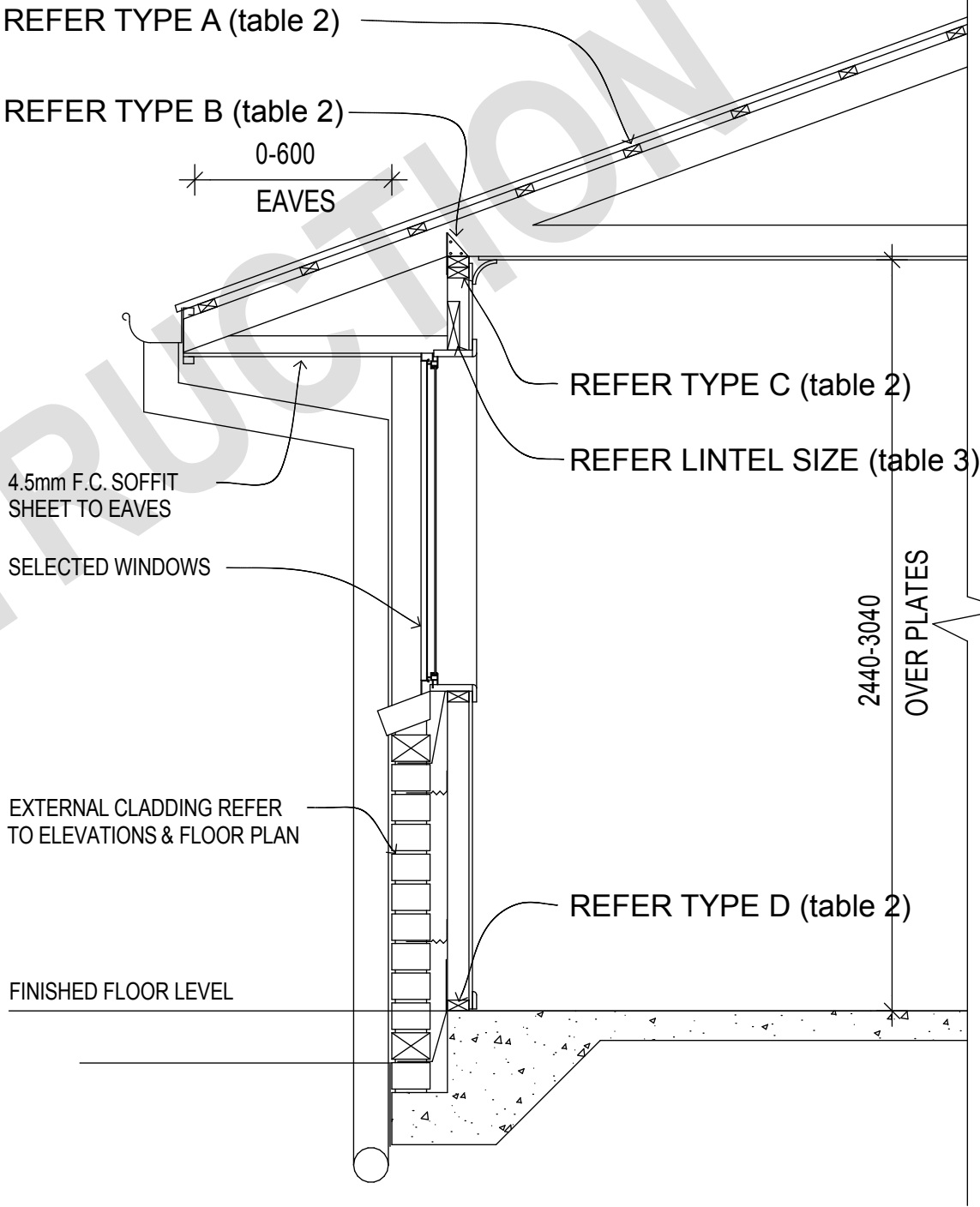
opening	jamb studs	ULW 7500	jamb studs	ULW 6000
900	2	2/90x35 pine mgp12	2	140x35 pine mgp12
1200	3	140x35 pine mgp12	3	140x35 pine mgp12
1500	3	2/140x35 pine mgp12	3	190x35 pine mgp12
1800	4	2/190x35 pine mgp12	4	2/190x35 pine mgp12
2100	5	2/190x35 pine mgp12	5	2/190x35 pine mgp12
2400	5	2/200x45 HYNE LGL	5	2/190x35 pine mgp12
2700	*N/A	2/245x45 HYNE LGL	*N/A	245x65 HYNE LGL
3000	*N/A	300x45 HYNE LGL	*N/A	2/245x65 HYNE LGL

opening	jamb studs	ULW 4500
900	2	140x35 pine mgp12
1200	3	140x35 pine mgp12
1500	3	2/140x35 pine mgp12
1800	4	190x35 pine mgp12
2100	5	2/190x35 pine mgp12
2400	5	2/190x35 pine mgp12
2700	*N/A	2/200x45 HYNE LGL
3000	*N/A	2/245x45 HYNE LGL

NOTE: FOR LINTELS SUPPORTING GIRDER TRUSSES REFER TO FLOOR PLAN OR FRAME MANUFACTURER'S DETAILS

steel lintels supporting upper brickwork only

UP TO 1000mm:	85x8 FLAT BAR. 90mm END SUPPORT
1001mm TO 2100mm:	100x100x6 ANGLE. 100mm END SUPPORT
2101mm TO 3600mm:	150x100x8 ANGLE. 100mm END SUPPORT
*N/A	PROJECT ASSESMENT REQUIRED



SECTION DETAIL

termite protection: slab edge exposure for slab perimeter. For penetrations & control joints use stainless steel.

NOTE: IN ADDITION TO TIE DOWN & BRACING REQUIREMENTS, THE BOTTOM PLATE OF ALL WALLS (LOAD & NON-LOAD BEARING) ARE TO BE FIXED TO THE SLAB AS FOLLOWS: HAMMERED, FIRED, SCREWED OR EXPANSION MASONARY FASTENERS AT 1200mm CENTRES ALONG THE PLATE.

N2 ULW 4.500m

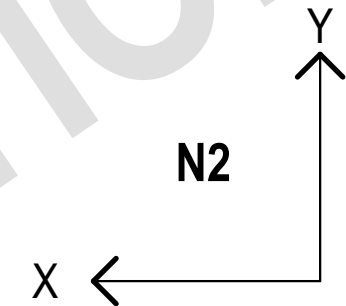
table 2. (tie down) Single storey sheet roof					
		Force Required	Force Provided	Description	Centres
type A	Roof Batten to Rafters of Trusses	1.5	4.5	1xNo.14 Type 17 Batten Screw Min. 35mm Penetration.	N/A
type B	Rafter/Truss to Wall Frame	3.0	3.5	Framing Anchor 4/2.8 dia nails to each end.	900mm Every Truss
type C	Plates to Studs	1.7	3.5	30x0.8 GI Stud Strap. 2 Nails Each Side.	Every Stud
type D	Bottom Plates to Slab	1.7	12.5	M10 Screw Tip Bolt or Epoxy Set 75MM Embedment	1200mm & Every Window, Jamb Stud & Corner Stud.
	Verandah Posts or Balcony Columns	N/A	N/A	N/A	N/A

N2 ULW 6.000m

table 2. (tie down) Single storey sheet roof					
		Force Required	Force Provided	Description	Centres
type A	Roof Batten to Rafters of Trusses	1.5	4.5	1xNo.14 Type 17 Batten Screw Min. 35mm Penetration.	N/A
type B	Rafter/Truss to Wall Frame	4.0	5.9	Framing Anchor x 2 4/2.8 dia nails to each end.	900mm Every Truss
type C	Plates to Studs	2.2	3.5	30x0.8 GI Stud Strap. 2 Nails Each Side.	Every Stud
type D	Bottom Plates to Slab	2.2	12.5	M10 Screw Tip Bolt or Epoxy Set 75MM Embedment	1200mm & Every Window, Jamb Stud & Corner Stud.
	Verandah Posts or Balcony Columns	0.0	N/A	N/A	N/A

N2 ULW 7.500m

table 2. (tie down) Single storey sheet roof					
		Force Required	Force Provided	Description	Centres
type A	Roof Batten to Rafters of Trusses	1.5	4.5	1xNo.14 Type 17 Batten Screw Min. 35mm Penetration.	N/A
type B	Rafter/Truss to Wall Frame	5.0	5.9	Framing Anchor x 2 4/2.8 dia nails to each end.	900mm Every Truss
type C	Plates to Studs	2.8	3.5	30x0.8 GI Stud Strap. 2 Nails Each Side.	Every Stud
type D	Bottom Plates to Slab	2.8	12.5	M10 Screw Tip Bolt or Epoxy Set 75MM Embedment	1200mm & Every Window, Jamb Stud & Corner Stud.
	Verandah Posts or Balcony Columns	0.0	N/A	N/A	N/A




N2

$$= 46.41$$

TOTAL = 38.70

Scale 1:100

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			SIGNATURE_____DATE_____												07.09.09	10 of 11
			SIGNATURE_____DATE_____												drawing job number	designed: CLIENTdrawn: GRANT

